

## ADDENDUM NO.

Date: 2025-04-22

From: Jim Shearer, Lawrence Group

Architect's Project No. 2024110 – ECC Rolla – Demolition Package

Project: Hazardous Materials Abatement and Selective Demolition at East Central College  
Rolla Campus

Owner: East Central College  
1964 Prairie Dell Rd.  
Union, MO 63084

Owners Representative: Navigate Building Solutions  
8419 Manchester Rd.  
St. Louis, MO 63144

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This Addendum is issued before execution of Contract to inform the Bidders of revisions to the Bid Documents and shall be included in the contract.

All requirements contained in the Bidding Documents shall apply to the Addendum. The work called for in this Addendum shall be the same as set forth in the applicable portions of the Bidding Documents unless otherwise specified in this Addendum. All incidental work necessitated by this Addendum as required to properly complete the work shall be included in the Bids even though not specifically stated in this Addendum.

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### Project Manual and Specification Addenda

#### 1 TEAM PAGE

- 1.1 Add Navigate Building Solutions as Owners Representative

#### 2 TABLE OF CONTENTS

- 2.1 Add Section 003132 to the Table of Contents

#### 3 INVITATION TO BID

- 3.1 Revise Bid Date to 2:00 PM CDT, Thursday, May 15, 2025
- 3.2 Revise Prebid Meeting to May 1, 2025, at 10 AM

#### 4 REQUEST FOR PROPOSAL

- 4.1 Revise Bid Date to 2:00 PM CDT, Thursday, May 15, 2025
- 4.2 Revise Prebid Meeting to May 1, 2025, at 10 AM

## **5 SCOPE OF WORK**

- 5.1 Revise Bid Date to 2:00 PM CDT, Thursday, May 15, 2025
- 5.2 Revise Prebid Meeting to May 1, 2025, at 10 AM

## **6 ASBESTOS SURVEY**

- 6.1 Add ASBESTOS SURVEY to the Project Manual

## **7 SECTION 011000 PROJECT SUMMARY**

- 7.1 Remove paragraph stating Hazardous Material Abatement will be under separate contract.
- 7.2 Add Hazardous Material Abatement to the Abbreviated Written Summary.

## **Drawing ADDENDA**

### **8 AD100 – DEMOLITION PLAN - OVERALL**

- 8.1 Add Diagonal Hatched area to the Plan and Legend
- 8.2 Revise Keynotes describing hatched and shaded areas

### **9 AD100E – DEMOLITION PLAN – OVERALL – ELECTRICAL & TECHNOLOGY**

- 9.1 Add Diagonal Hatched area to the Plan
- 9.2 Revise Scope of Work and Keynotes
- 9.3 Revise Keynotes on Plan as indicated

### **10 AD100M – DEMOLITION PLAN – OVERALL – MECHANICAL AND PLUMBING**

- 10.1 Add Diagonal Hatched area to the Plan

### **11 AD101 - DEMOLITION PLAN - AREA A**

- 11.1 Revise Graphic Legend

### **12 AD102 - DEMOLITION PLAN - AREA B**

- 12.1 Revise Graphic Legend

### **13 AD103 - DEMOLITION PLAN - AREA C**

- 13.1 Revise Graphic Legend
- 13.2 Revise hatched areas on plan

### **14 AD104 - DEMOLITION PLAN - AREA D**

- 14.1 Revise Graphic Legend
- 14.2 Revise hatched areas on plan

**15** AD105 - DEMOLITION PLAN - AREA E

15.1 Revise Graphic Legend

15.2 Revise hatched areas on plan

**INVITATION TO BID**  
**Hazardous Materials Abatement and Selective Demolition at East Central College Rolla Campus**

Notice is hereby given that East Central College will receive sealed bids clearly marked "Hazardous Materials Abatement and Selective Demolition at East Central College Rolla Campus" on or before **2:00 P.M. CDT, Thursday, May 15, 2025**. Bids shall be submitted using ECC online portal known as ESM Sourcing. E

CC will not accept responses to solicitations posted to the website that are submitted by means other than this Online Sourcing Tool. Prospective general contractors must register with ESM Sourcing at

<https://supplier.esmsolutions.com/registration#/registration/contactInformation/> in order to submit their bid. Documents will be available April 14, 2025, at ECCs website <https://www.eastcentral.edu/purchasing/invitations-to-bid/>

Prospective general contractors and subcontractors are encouraged to attend the pre-bid meetings that will be held on May 1, 2025, at 10:00 am CDT located at 1400 Independence Rd. Rolla, MO 65401 with a site walkthrough immediately following the meeting.

The College reserves the right to reject any and all submittals, or to advertise for new submittals if deemed necessary.



**REQUEST**

**FOR**

**PROPOSAL**

**RELEASE DATE**

Hazardous Materials Abatement and Selective  
Demolition at East Central College Rolla Campus

**Project 2024-2025: RC001**

**Due 2:00 PM CST/CDT  
Thursday, May 15, 2025**

Company Name:

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Contact Information:

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Printed Name & Title

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Address, City, State

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Phone Number

**EAST CENTRAL COLLEGE  
REQUEST FOR PROPOSAL  
PROJECT NAME**

**TO:** EAST CENTRAL COLLEGE  
1964 Prairie Dell Road, Union MO 63084  
Email: [melissa.popp@eastcentral.edu](mailto:melissa.popp@eastcentral.edu)  
PH: (636) 584-6703

**PROPOSAL:** Hazardous Material Abatement and Selective  
Demolition East Central College Rolla Campus

**DUE:** Thursday, May 15, 2025, at 2:00 PM

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**DIRECT CONTACT WITH EAST CENTRAL COLLEGE BOARD OF TRUSTEES IS PROHIBITED.**

INSTRUCTIONS AND CONDITIONS: Please quote the lowest net price at which you agree to furnish the service listed. Samples may be sent, upon request, to further describe the merchandise in question.

VERIFY YOUR PROPOSAL BEFORE THE SUBMISSION AS THEY CANNOT BE WITHDRAWN OR CORRECTED AFTER BEING OPENED. The College is exempt from the Missouri State Tax. The College is a state-funded institution and requires all proposals to be submitted as prevailing wage. Franklin County is listed under section 36 in the Missouri Statute. East Central College is not responsible for any proposal lost during submission or received after the time of quotation closing. It is the vendor's responsibility to confirm receipt of their proposal by the Purchasing Department.

Proposals shall be submitted using the online portal known as ESM Solutions – Sourcing Tool. The College will not accept responses to solicitations posted on the website that are submitted by means other than this online portal.

All product description, features, characteristics and pricing associated with this service must be detailed in the proposal. East Central College reserves the right to reject any or all proposal, wave minor irregularities, consider minor variations to specifications that are clearly detailed, and accept the lowest proposal which appears to be in the best interest of the college.

East Central College reserves the right to purchase by individual item. All prices quoted shall be F.O.B. East Central College, Union, Missouri or to any East Central College off-campus location when indicated. All prices quoted shall be valid for a minimum of 90 days from the closing date of request for proposal.

It is required that the vendor read and follow all instructions on this form. Failure to do so is sufficient cause for rejection.

**EAST CENTRAL COLLEGE  
REQUEST FOR PROPOSAL  
PROJECT NAME**

**Anti-Discrimination Against Israel Act Requirement (Effective 08.28.2020)**

The contractor hereby certifies in writing as follows (for purposes of this certification, Contractor shall be referred to as Company):

1. That Company is not currently engaged in and shall not, for the duration of the contract, engage in a boycott of goods or services from the State of Israel; companies doing business in or with Israel or authorized by, licensed by, or organized under the laws of the State of Israel; or persons or entities doing business in the State of Israel.
2. As used in this certification, the following terms and phrases shall be defined as follows:
  - (a) "Boycott Israel" and "boycott of the State of Israel", engaging in refusals to deal, terminating business activities, or other actions to discriminate against, inflict economic harm, or otherwise limit commercial relations specifically with the State of Israel; companies doing business in or with Israel or authorized by, licensed by, or organized under the laws of the State of Israel; or persons or entities doing business in the State of Israel, that are all intended to support a boycott of the State of Israel. A company's statement that it is participating in boycotts of the State of Israel; companies doing business in or with Israel or authorized by, licensed by, or organized under the laws of the State of Israel; or persons or entities doing business in the State of Israel, or that it has taken the boycott action at the request, in compliance with, or in furtherance of calls for a boycott of the State of Israel; companies doing business in or with Israel or authorized by, licensed by, or organized under the laws of the State of Israel; or persons or entities doing business in the State of Israel shall be considered to be conclusive evidence that a company is participating in a boycott of the State of Israel; companies doing business in or with Israel or authorized by, licensed by, or organized under the laws of the State of Israel; or persons or entities doing business in the State of Israel; provided, however that a company that has made no such statement may still be considered to be participating in a boycott of the State of Israel; companies doing business in or with Israel or authorized by, licensed by, or organized under the laws of the State of Israel; or persons or entities doing business in the State of Israel if other factors warrant such a conclusion; and
  - (b) "Company", any for-profit or not-for-profit organization, association, corporation, partnership, joint venture, limited partnership, limited liability partnership, limited liability company, or other entity or business association, including all wholly owned subsidiaries, majority-owned subsidiaries, parent companies, or affiliates of those entities or business associations.

**EAST CENTRAL COLLEGE  
REQUEST FOR PROPOSAL  
PROJECT NAME  
PROJECT TIMELINE**

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April 14, 2025	Request for Proposals released to public
May 1, 2025 @ 10am	Walk-through for abatement/demo contractors
May 7, 2025 by 4pm	Questions and inquiries concerning this Request for Proposal must be submitted not later than 4:00 PM to Jim Shearer with Lawrence Group and Ryan Wilson with NAVIGATE.
May 15, 2025 @ 2pm	Proposals due by electronic submission into ESM Sourcing Tool no later than 2:00 PM, CST/CDT
May 15 - 30, 2025	Contractor interviews if needed (time TBD)
May 30, 2025	Recommendation to college president
June 16, 2025	Board of Trustees Approval
June 16, 2025	Contract issued to awarded contractor
June 30, 2025	Issue Notice To Proceed
July 1, 2025	Contractor Mobilization

It is the responsibility of each vendor to inquire about and clarify any requirement of this solicitation that is not understood. The College will not be bound by oral explanations as to the meaning of specifications or language contained in this solicitation. All inquiries and questions deemed to be substantive in nature must be submitted via the online sourcing web portal, as stated on <http://www.eastcentral.edu/purchasing/invitations-to-bid/>.

ALL SERVICE DESCRIPTION, FEATURES, CHARACTERISTICS AND PRICING  
ASSOCIATED WITH THIS PROPOSAL MUST BE DETAILED IN THE PROPOSAL.



**Exhibit D**  
**Scope of Work for General Contractor for the**  
**Hazardous Material Abatement and Selective Demolition at East Central College Rolla**

The Construction Manager (CM) referred to below is NAVIGATE Building Solutions, LLC. The Owner referred to below is the East Central College. The Contractor referred to below is the General Contractor. This bid package includes, but is not limited to, the following:

- Selective demolition work outlined by the project documents (plans and specifications issued by The Lawrence Group dated April 7, 2025.
- Abatement and hazardous materials as identified in the “Asbestos Survey Activities” as prepared by SCI dated April 5, 2024
- 3<sup>rd</sup> Party air clearances as required during abatement operations.

Contractor shall be responsible to maintain scheduled items for the Contractor's work as included in the project master schedule below. Contractor shall reference AIA 101 and AIA 201 contract drafts provided in the bid documents. The draft AIA 101 and AIA 201 have been modified from their original versions. Contractor shall read and agree to these documents as part of the bid process.

1. Contractor is aware of the potential for Liquidated Damages. Contractor shall be responsible to maintain scheduled items for the Contractor's work as included in the Master Project Schedule below. Contractor shall reference the Owner Agreement included in the bid documents. Contractor agrees to pay the Owner, or to deduct from the Contract Sum, not as a penalty, but as liquidated damages, the amounts listed in the contract drafts provided.
2. Not less than the prevailing hourly rate of wages, as set out in the Missouri Division of Labor Standards, Annual Wage Order No. 31 for Phelps County, shall be paid to all workers performing work under this contract. The Contractor will forfeit a penalty to the contracting public body of \$100 per day (or portion of a day) for each worker that is paid less than the prevailing wage rate for any work done under the contract by the Contractor or by any subcontractor. A copy of the Annual Wage Order No. 31 can be found in the project contract documents.
3. Upon execution of this contract, this contractor must submit to the CM a detailed critical path baseline construction schedule outlining each construction activity and phase. This schedule must fall within the Master Project Schedule outlined below and be submitted no later than ten (10) days following execution of the contract. Contractor is required to provide updated work schedules at a minimum on a monthly basis with each pay application. Contractor's detailed activity schedule/critical path schedule shall adhere to the Master Project Schedule and shall provide for expeditious and practicable execution of the Work. Should the Contractor fall behind schedule by more than 5 workdays due to the fault of this Contractor, the Contractor shall provide a recovery schedule to the CM within 5 days of request by the CM.

**Master Project Schedule Milestone Dates**

- |                               |                          |
|-------------------------------|--------------------------|
| a. Invitation for Bids        | April 14, 2025           |
| b. Pre-Bid Meeting            | May 1, 2025, at 10:00 AM |
| c. Contractor's Questions Due | May 7, 2025, at 4:00 PM  |
| d. Bids Due                   | May 15, 2025, at 2:00 PM |

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|--------------------------------------|--------------------------------------|
| e. Contractor Interviews (if needed) | May 15-30, 2025, Time TBD            |
| f. Board Approval of Contractor      | June 16, 2025                        |
| g. Issue Contract                    | June 16, 2025                        |
| h. Anticipated Notice to Proceed     | June 30, 2025                        |
| i. Mobilization                      | July 1, 2025                         |
| j. Substantial Completion            | TBD                                  |
| k. All-Clear Letter                  | 30 days after substantial completion |
| l. Owner Turnover completion         | 30 days after substantial completion |
4. Contractor to reference SCI report dated April 5, 2024, located under Division 1 in the Project Manual Construction Documents. Contractor will be required to remove the hazardous materials that are listed in the report
- a. 85,000 sf of 12"x12" Tan Mottled Floor Tile (often under carpet or Sample 1400-5ABC, on concrete)
  - b. 2,800 sf of 12"x12" White and Gray Feathered Floor Tile (on concrete)
5. Contractor is responsible for all selective demolition scope of work.
6. Contractor is responsible for 3rd party air clearances required for abatement activities.
7. Provide all supervision, labor, tools, equipment and materials to complete the work. Perform all freight, unloading, loading, distribution and hoisting of materials.
8. Perform all work in accordance with OSHA standards and the Additional Project Safety Requirements issued in the specifications (including OSHA 10-hour requirement).
9. The Contractor will be responsible for making all notifications and obtaining all permits required by any applicable Authorities Having Jurisdiction (AHJ) for this scope of work.
10. The Contractor shall include a final "All Clear" report upon the completion of the work.
11. The Contractor is responsible for verifying that building power is adequate to perform the scope of work.
12. Contractor will be responsible for all power necessary, including coordinating all work with the Owner Representative, ECC, and Architect.
13. This contractor shall provide all layout required to complete the work included in this Contractor's scope of work.
14. Review all drawings and specifications and accept responsibility for requirements, general notes, notes, specifications, and details as they relate to this scope of work.
15. Provide adequate dust control during construction work.
16. This Contractor shall furnish all dumpsters for the project and shall include cost to haul offsite and legally dispose of all construction rubbish and debris. Cleanup all rubbish and debris from site and building daily.

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17. Bi-weekly meetings at the jobsite will be held with the Owner's Representative and Architect. This contractor's Project Manager and Superintendent to coordinate the selective demolition and abatement scope of work. The work of this contractor must be performed in accordance with the decision and schedules formulated at these meetings so as not to delay the work. The Contractor's Project Manager and Foreman/Superintendent must be present at these meetings.
18. Provide final cleaning of project area and travel path (including stairwells and elevators) at the completion of the project.
19. This Contractor will be responsible to review all specifications and drawings including Architectural, Mechanical, Plumbing Electrical, Fire Protection, Low Voltage, and Structural, etc. and will include all divisions of work in their proposal.
20. Provide temporary protection labor and material. Contractor to also install adequate temporary protection across any floors to eliminate staining or damage to finished floor product. Contractor to maintain this until all this contractor's work is complete. Once all the work has been completed this contractor will remove and dispose of the temporary protection. Any damage to exposed floors that requires remediation prior to installation of finished surface will be at the expense and responsibility of this Contractor.
21. Contractor to furnish first aid and safety supplies as needed.
22. This contractor is responsible for securing the building with temporary or permanent measures at the close of every day.
23. Contractor responsible for any coordination of staging or relocation for materials after initial unloading.
24. Contractor to maintain proper SDS sheets for all materials utilized by this Contractor (and its subcontractors) in a central location on site per OSHA standards. Site Specific Safety Plan shall be completed and kept on site at all times.
25. This contractor to broom clean all floors at least once a week to ensure housekeeping stays up to par.
26. No tobacco use is allowed on the project.
27. This contractor shall maintain a RFI log for the project indicating the following. This log must be submitted to the OR and Architect for review on a weekly basis.
  - a. Topic of RFI
  - b. Date submitted
  - c. Date requested response by
  - d. Date returned
  - e. Status- Open or Closed
28. Immediately upon award this contractor shall submit a proposed logistics plan for review. The Owner, OR, Contractor, and Architect will meet to review and discuss site logistics and finalize an agreed upon plan of action for quality control, site logistics and construction parking.
29. This contractor must prepare and make available upon request, a procurement log for all long lead

## ADDENDUM 01

materials and equipment. Procurement log must include date of order, date of confirmation of order, expected delivery date, actual delivery date, and comments noting any changes to dates and reasons for change.

30. This contractor will be responsible for submitting daily logs containing the number of workers, equipment, work accomplished, daily weather, deliveries, visitors to the site, any inspections passed or failed, problems encountered, and other relevant data as may be required. Contractor's daily reports should also include photographs of work in progress.
31. This contractor must populate a closeout log and submit to the OR and Architect for review to verify that all required items have been populated. Once approved, this log will be used to track required closeout items prior to final payment. This contractor is highly encouraged to submit O&M requirements as soon as possible in advance of final acceptance to help eliminate delay in payment.
32. This contractor will compile for the Owner a 'record set' of all documents and drawings for the project at substantial completion in paper and electronic form. This shall be 'red-lined' copies of all project changes throughout the course of the project to identify all systems as they were actually installed on the project for the Owner's records.
33. The Contractor and all sub-contractors are required to stay within the limits of construction. No equipment, material, vehicles, personnel, etc. are allowed outside the limits of construction.
34. During the warranty period of the project, this Contractor shall document, maintain and update a Warranty Log of all warranty items, at a minimum monthly, to be shared with the Client and Construction Manager.
35. Each bidder is responsible for the scope of work outlined in the Bid Documents, including but not limited to the cutting, capping, disconnects, terminations, and making safe of MEPFP systems identified for removal. The prime contractor is expected to subcontract as necessary for these scopes of work, associated permits, and include in the lump sum base bid. Engage a licensed Electrician and Plumber/Pipefitter as needed.
  - a. It is anticipated that the abatement or selective removal contractor shall act as the prime contractor for the full scope of work. Owner's Representative and Design Team do not anticipate a burdensome process of submittals, site logistics, or coordination meetings after the initial pre-construction meeting(s) and Contractor mobilization.
36. Air monitoring should be provided by a 3rd party and will be contracted with this bid package. The Owner has requested that DAILY air monitoring be performed due to the ongoing occupancy and public nature of activities in the building. The air sampling professional will determine the location of the samples, both inside and outside of the work area.
37. Any shelving or items that are left behind by the Owner should be removed and disposed of as base bid scope.
38. This contractor will be responsible to pay for and submit the Asbestos NESHAP Notification for Demolition and Renovation through the Missouri Department of Natural Resources Air Pollution Control Program. A copy of the notification can be found in the specifications.

**Owner:**

Junior College District of East Central Missouri  
East Central College  
1964 Prairie Dell Road  
Union, Missouri 63084  
(636) 584-6701  
(636) 584-8602(fax)  
Contact: Jon Bauer, PhD  
Vice President, Finance &  
Administration

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**Owner's Representative:**

Navigate Building Solutions  
8419 Manchester Rd  
St. Louis, Missouri 63144  
(618) 960-4116  
(720) 557-1459  
Contact: Ryan Wilson  
Amy Miller

**Architect and Interior Designer:**

The Lawrence Group Architects of St Louis,  
Inc.  
319 North 4th Street, Suite 1000  
St. Louis, Missouri 63102  
(314) 231-5700  
(314) 231-0816 (fax)  
Contacts: Jim Shearer and Lorenzo Savage

**Mechanical, Plumbing, Electrical,  
and Fire Protection Engineer**

IMEG  
15 Sunnen Drive, Suite 104  
St. Louis, Missouri 63143  
(314) 257-0632  
Contact: Mason Ryan

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**SCI ENGINEERING, INC.**

**EARTH • SCIENCE • SOLUTIONS**

GEOTECHNICAL  
ENVIRONMENTAL  
NATURAL RESOURCES  
CULTURAL RESOURCES  
CONSTRUCTION SERVICES

April 5, 2024

Jon Bauer, Ph.D.  
East Central College  
1964 Prairie Dell Road  
Union, Missouri 63084

RE: Asbestos Survey Activities  
1400 Independence Road  
Rolla, Missouri  
SCI No. 2024-0631.20

Dear Jon Bauer:

## **INTRODUCTION**

SCI Engineering, Inc. (SCI) is pleased to submit this report of the analytical test results for samples of suspect asbestos-containing materials (ACMs) collected during the survey performed on March 25, 2024. The survey was conducted by Ethan Boyer, Missouri-Licensed Asbestos Inspector. A copy of Ethan's asbestos inspector license is enclosed.

The purpose of this survey was to identify ACMs in accessible areas of the structure at 1400 Independence Road in Rolla, Missouri. This survey is intended to satisfy the requirements for the asbestos National Emission Standard for Hazardous Air Pollutant for demolition and renovation as well as for Occupational Safety and Health Administration (OSHA) compliance.

The on-site structure is an approximate 105,000-square-foot office building which appeared to have been constructed in the 1970s. The exterior of the structure was brick/CMU siding with metal windows, and a membrane roof. The structure utilized forced air HVAC system.

## **LIMITATIONS**

SCI's asbestos survey entailed visually assessing accessible areas only. If any other suspect asbestos materials are discovered during demolition or renovation, please contact SCI, and we will make arrangements for assessment of these materials. Areas behind walls, under subfloors and above fixed ceilings are considered non-accessible.

During the course of performing the survey of the structure, SCI was unable to access the FBI area within the structure for confidentiality concerns. Additionally, SCI was instructed not to survey the roof.

## **ASBESTOS SURVEY**

Forty-six samples were collected from the on-site structure. Of these 46 samples, 42 samples were analyzed using a positive stop procedure. These samples were analyzed by Polarized Light Microscopy (PLM). Of the 42 samples analyzed, 2 samples were found to contain asbestos. Analytical test results

and chain-of-custody documentation are enclosed. The results of the analysis of all samples are summarized in Table 1.

**Table 1 - Summary of Analytical Test Results**

Sample Number	Material Location	Material Description	Approx. Quantity	Result	Category
1400-1A	Throughout Except Rooms 118, 202, Repository, IT Server, and Mine Safety	12" by 12" Tan Mottled Floor Tile (often under carpet or Sample 1400-5ABC, on concrete)	85,000 sf	5-10% Chrysotile in Floor Tile and Mastic	NCI
1400-1B				Not Analyzed Due to Positive Stop	
1400-1C				Not Analyzed Due to Positive Stop	
1400-2A	Rooms 118 and 202	12" by 12" White and Gray Feathered Floor Tile (on concrete)	2,800 sf	5-10% Chrysotile in Floor Tile and Mastic	NCI
1400-2B				Not Analyzed Due to Positive Stop	
1400-2C				Not Analyzed Due to Positive Stop	
1400-3A	Room 220	12" by 12" Black Floor Tile	700 sf	None Detected in Floor Tile or Mastic	--
1400-3B				None Detected in Floor Tile or Mastic	
1400-3C				None Detected in Floor Tile or Mastic	
1400-4A	Room 221	12" by 12" Grey and Pink Speckled Floor Tile	560 sf	None Detected in Floor Tile, Backing, or Mastic	--
1400-4B				None Detected in Floor Tile, Backing, or Mastic	
1400-4C				None Detected in Floor Tile, Backing, or Mastic	
1400-5A	Throughout Hallways and Entryways to Rooms	12" by 12" Beige and Tan Mottled Floor Tile	40,000 sf	None Detected in Floor Tile or Mastic	--
1400-5B				None Detected in Floor Tile or Mastic	
1400-5C				None Detected in Floor Tile or Mastic	
1400-6A	Room 460	12" by 12" Tan Mottled Floor Tile	1,150sf	None Detected in Floor Tile, Backing, or Mastic	--
1400-6B				None Detected in Floor Tile, Backing, or Mastic	
1400-6C				None Detected in Floor Tile, Backing, or Mastic	

**Table 1 - Summary of Analytical Test Results (Continued)**

1400-7A	Throughout	Drywall System	--	None Detected in Drywall or Joint Compound	--
1400-7B				None Detected in Drywall or Joint Compound	
1400-7C				None Detected in Drywall or Joint Compound	
1400-7D				None Detected in Drywall or Joint Compound	
1400-7E				None Detected in Drywall or Joint Compound	
1400-7F				None Detected in Drywall or Joint Compound	
1400-7G				None Detected in Drywall or Joint Compound	
1400-8A	Throughout	2' by 4' Pinhole Wormtrack Ceiling Tile	--	None Detected	--
1400-8B				None Detected	
1400-8C				None Detected	
1400-9A	Throughout	2' by 4' Pinhole Ceiling Tile	--	None Detected	--
1400-9B				None Detected	
1400-9C				None Detected	
1400-10A	Throughout Offices	4" Light Grey Covebase	--	None Detected in Covebase or Mastic	--
1400-10B				None Detected in Covebase or Mastic	
1400-10C				None Detected in Covebase or Mastic	
1400-11A	Throughout Hallway	4" Dark Grey Covebase	--	None Detected in Covebase or Mastic	--
1400-11B				None Detected in Covebase or Mastic	
1400-11C				None Detected in Covebase or Mastic	
1400-12A	Exterior	Black Window Caulk	540 lf	None Detected	
1400-12B				None Detected	
1400-12C				None Detected	
1400-13A	Exterior	Black Door Caulk	250 lf	None Detected	
1400-13B				None Detected	
1400-13C				None Detected	

**Table 1 - Summary of Analytical Test Results (Continued)**

1400-14A	Exterior	Expansion Joint Caulk	220 lf	None Detected	--
1400-14B				None Detected	
1400-14C				None Detected	

sf - square feet

lf - linear feet

NCI - Non-Friable Category I Material

## DEMOLITION/RENOVATION

According to the Missouri Department of Natural Resources (MDNR), any friable or potentially friable ACM equal to or greater than 260 linear feet or 160 square feet is classified as a regulated ACM (RACM) and must be removed prior to demolition or renovation which would significantly damage the material.

The floor tile and floor tile mastic are Category I non-friable materials and would not normally require removal. However, should renovation activities impact these materials, they should be removed by a licensed abatement contractor. Alternatively, new flooring systems can be laid on top of the existing floor tile/floor tile mastic. If demolition is scheduled, it is MDNR's opinion that demolition activities including ACM on a concrete floor slab such as breaking up the floor slab and tracking over ACM tile with heavy equipment will render it friable. Because the demolition activities will render the materials friable, they must be removed prior to demolition. If the concrete is not to be ground or used as fill, the ACM mastic can remain in place. In addition, concrete with attached ACM is not considered clean fill.

The building was observed to have a flat membrane roof. Due to the potential for water leakage from the sample location, SCI was instructed not to collect a sample of the roofing material. Furthermore, the warranty of the roof may be voided if sampling is performed. Since a sample was not collected, the roofing material is assumed to be asbestos containing. The Category I non-friable material is not required to be removed from the structure prior to demolition. This material should not be ground, abraded, or otherwise significantly damaged as this will render the material friable. The MDNR considers the reduction of ACM containing demolition rubble by repeatedly tracking over it to render the ACM friable. However, should renovation activities impact this material, it should be removed by a licensed abatement contractor.

Although no asbestos-containing thermal system insulation (TSI) was observed in this structure, it is possible that asbestos-containing TSI is present in the wall cavities and floor cavities of the building where piping is present due to the construction date of the building. If any suspect pipe insulation is encountered during renovation, please contact SCI for analysis of the materials.

The Occupational Safety & Health Administration also has regulations (29 CFR Parts 1910 et al, Occupational Exposure to Asbestos, August 10, 1994) regarding removal of asbestos-containing materials which must be followed.

## REPORTING

Attached is Missouri Department of Natural Resources' (MDNR) Notification of Demolition and Renovation form, which has been filled out to the extent possible by SCI. The remaining information must be completed by you.

This report, as well as the completed EPA Notification of Demolition and Renovation form, must be submitted to MDNR, Air Pollution Control, PO Box 176, Jefferson City, Missouri, 65102, Stephanie Hamilton at [asbestosnotifications@dnr.mo.gov](mailto:asbestosnotifications@dnr.mo.gov).

It should be noted that following submittal of the notification form, there is a 10-day waiting period before demolition, renovation, or abatement activities can begin.

If this report is to be used for bidding purposes for asbestos abatement, SCI recommends the contractor visit the site to verify all conditions and quantities.

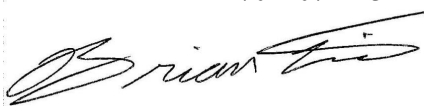
SCI appreciates the opportunity to be of service to you on this project. Please contact us if you have any questions or comments regarding the information provided.

Respectfully,

**SCI ENGINEERING, INC.**



Ethan D. Boyer  
Missouri State Certified Asbestos Inspector  
Certificate Number 7011071423MOIR22389



Brian L. Lieb  
Project Scientist

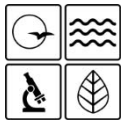


Jessica B. Keeven, CHMM  
Senior Scientist

EDB/BLL/JBK/bms

Enclosures

Asbestos NESHAP Notification of Demolition and Renovation  
Analytical Test Results and Chain of Custody  
Asbestos Inspector Certificate



MISSOURI DEPARTMENT OF NATURAL RESOURCES  
AIR POLLUTION CONTROL PROGRAM

**ASBESTOS NESHAP NOTIFICATION OF DEMOLITION AND RENOVATION**

**GENERAL INSTRUCTIONS**

**NOTE: There is a \$100 review fee for this notification. Make checks payable to the department's Air Pollution Control Program or the appropriate local agency.**

1. First-time notices = "Original." Amended projects = "Revision." Notice of cancellation = "Cancelled."
2. In the event that no asbestos removal was necessary, indicate "N/A" for asbestos removal contractor.
3. Indicate the type of project.
4. Mark the "YES" box if asbestos is present. In the next box, indicate what types of asbestos materials are present. Mark the "NO" box if no asbestos is present.
5. Failure to complete this section will result in an unapproved project. Include building uses, sizes and age. If you do not know the exact information, give your best estimate.
6. All regulated structures must be inspected by a certified asbestos inspector prior to renovation or demolition. Typically: "Certified asbestos inspector, with sample analysis by PLM." If other methods were used, explain.
7. All asbestos materials present in the building must be included here. Enter amounts (in ft<sup>2</sup>, linear feet, or ft<sup>3</sup>) of material to be removed from or left in the building. For example, in the column "Nonfriable asbestos material to be removed," under subcolumn "CAT II" (on the "surface area" line) you might enter "5,200" and "transite" under the number. The inspection report, which must be attached to the notification, should reflect this information.
8. This line must be completed. Never enter a date that is not at least 10 working days after your postmark, unless you have been granted a waiver by the department. **Missouri law requires notifications to be submitted at least 10 working days in advance of the project start date.**
9. If applicable, enter the dates on which abatement will occur or has occurred.
10. Give a brief description of your demolition/renovation plans, including the scope of work to be performed and the methods used to perform the work. Use an additional page if necessary.
11. Describe how any asbestos-containing materials (ACM) involved will be removed prior to demolition/renovation. If ACM will be left in the building, then indicate precautions used to prevent ACM from being made friable. If all asbestos has been removed, "N/A."
12. Identify waste transporter.
13. Identify waste disposal site.
14. Complete this section only for ordered demolitions. Submit the order with the notification. For all others, "N/A."
15. Complete this section only for emergency renovation projects. For all other renovations, indicate "N/A."
16. Indicate what will be done in the event that friable asbestos or suspect materials are unexpectedly encountered.
17. For regulated asbestos abatement or demolition of an unsafe or damaged structure when a prior inspection has not been conducted, a person trained in the requirements of 40 CFR Part 61, Subpart M must be on site to supervise the asbestos abatement. In the event that no asbestos is present or has already been removed, mark "N/A."
18. Always sign and date this line. This form may be signed by the project owner or operator. The project approval letter will be mailed to the person who signs the notification form.

**NOTE: For all regulated demolition and renovation projects, always include a complete copy of your asbestos inspection report with the notification form.**

Send completed forms to:

Missouri Department of Natural Resources  
APCP, Asbestos  
PO Box 176  
Jefferson City, MO 65102

If using priority mail, send to:

Missouri Department of Natural Resources  
APCP, Asbestos  
1659 E. Elm St.  
Jefferson City, MO 65101



MISSOURI DEPARTMENT OF NATURAL RESOURCES  
AIR POLLUTION CONTROL PROGRAM  
**ASBESTOS NESHAP NOTIFICATION OF DEMOLITION  
AND RENOVATION**

**FOR OFFICE USE ONLY**

DATE RECEIVED	POSTMARK
CHECK DATE	CHECK NUMBER
CHECK AMOUNT	NOTIFICATION NUMBER

**There is a \$100 review fee for this notification. Processing will be delayed if notification is received without payment.**

**1. TYPE OF NOTIFICATION**

☐ O – ORIGINAL   ☐ C – CANCELLED   ☐ R – REVISION, WRITE REVISION NUMBER \_\_\_\_\_

**2. FACILITY INFORMATION (IDENTIFY OWNER, REMOVAL CONTRACTOR AND OTHER OPERATOR)**

OWNER'S NAME		ADDRESS	
CITY	STATE	ZIP CODE	EMAIL
CONTACT	TITLE		TELEPHONE NUMBER WITH AREA CODE
ASBESTOS REMOVAL CONTRACTOR		ADDRESS	
CITY	STATE	ZIP CODE	EMAIL
CONTACT	TITLE		TELEPHONE NUMBER WITH AREA CODE
DEMOLITION CONTRACTOR		ADDRESS	
CITY	STATE	ZIP CODE	EMAIL
CONTACT	TITLE		TELEPHONE NUMBER WITH AREA CODE

**3. TYPE OF OPERATION**

☐ D – DEMO   ☐ O – ORDERED DEMO   ☐ R – RENOVATION   ☐ E – EMERGENCY RENOVATION

**4. IS ASBESTOS PRESENT?**

☐ YES   ☐ NO   LIST TYPE(S) OF ASBESTOS MATERIAL TO BE REMOVED \_\_\_\_\_

**5. FACILITY DESCRIPTION**

BUILDING NAME			
ADDRESS			
CITY	COUNTY	STATE	ZIP CODE
SITE LOCATION			
BUILDING SIZE	NUMBER OF FLOORS	AGE IN YEARS	
PRESENT USE		PRIOR USE	

**6. PROCEDURE, INCLUDING ANALYTICAL METHOD, IF APPROPRIATE, USED TO DETECT THE PRESENCE OF ASBESTOS MATERIAL. INCLUDE A COPY OF THE ASBESTOS INSPECTION.**

**7. APPROXIMATE AMOUNT OF ASBESTOS, INCLUDING:**

A. REGULATED ACM (RACM) B. CATEGORY I ACM C. CATEGORY II ACM	RACM TO BE REMOVED	NONFRIABLE ASBESTOS MATERIAL TO BE REMOVED		NONFRIABLE ASBESTOS MATERIAL NOT TO BE REMOVED	
		CAT I	CAT II	CAT I	CAT II
PIPES (LINEAR FEET)					
SURFACE AREA (SQUARE FEET)					
VOL. RACM OFF FACILITY COMPONENT (CUBIC FEET)					

<b>8. SCHEDULED DATES DEMO/RENOVATION (MM/DD/YY)</b>			
START:		COMPLETION:	
<b>9. SCHEDULED DATES ASBESTOS REMOVAL (MM/DD/YY)</b>			
START:		COMPLETION:	
		WEEKDAY WORK HOURS	WEEKEND WORK HOURS
<b>10. DESCRIPTION OF PLANNED DEMOLITION OR RENOVATION WORK AND METHOD(S) TO BE USED</b>			
<b>11. DESCRIPTION OF WORK PRACTICES AND ENGINEERING CONTROLS TO BE USED TO PREVENT EMISSIONS OF ASBESTOS AT THE DEMOLITION OR RENOVATION SITE.</b>			
<b>12. WASTE TRANSPORTER</b>			
NAME		ADDRESS	
CITY		STATE	ZIP CODE
CONTACT PERSON		TELEPHONE NUMBER WITH AREA CODE	
<b>13. WASTE DISPOSAL SITE</b>			
NAME			
LOCATION			
CITY		STATE	ZIP CODE
TELEPHONE NUMBER WITH AREA CODE			
<b>14. IF DEMOLITION ORDERED BY A GOVERNMENT AGENCY, IDENTIFY THE AGENCY BELOW.</b>			
NAME		TITLE	
AGENCY			
DATE OF ORDER (MM/DD/YY) INCLUDE A COPY OF THE ORDER.		DATE ORDERED TO BEGIN (MM/DD/YY)	
<b>15. FOR EMERGENCY RENOVATIONS</b>			
DATE AND HOUR OF EMERGENCY			
DESCRIPTION OF THE SUDDEN, UNEXPECTED EVENT			
EXPLANATION OF HOW THE EVENT CAUSED UNSAFE CONDITIONS OR WOULD CAUSE EQUIPMENT DAMAGE OR AN UNREASONABLE FINANCIAL BURDEN			
<b>16. DESCRIPTION OF PROCEDURES TO BE FOLLOWED IN THE EVENT THAT UNEXPECTED ASBESTOS IS FOUND OR PREVIOUSLY NONFRIABLE ASBESTOS MATERIAL BECOMES CRUMBLED, PULVERIZED OR REDUCED TO POWDER.</b>			
<b>17. I CERTIFY THAT AN INDIVIDUAL TRAINED IN THE PROVISIONS OF THIS REGULATION (40 CFR PART 61, SUBPART M) WILL BE ON-SITE DURING THE DEMOLITION OR RENOVATION AND EVIDENCE THAT THE REQUIRED TRAINING HAS BEEN ACCOMPLISHED BY THIS PERSON WILL BE AVAILABLE FOR INSPECTION DURING NORMAL BUSINESS HOURS (REQUIRED 1 YEAR AFTER PROMULGATION).</b>			
SIGNATURE OF OWNER/OPERATOR			DATE
<b>18. I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT.</b>			
SIGNATURE OF OWNER/OPERATOR			DATE





**PRECISION  
ANALYSIS, INC.**  
**BULK SAMPLE ANALYSIS**

Client: SCI Engineering, Inc.  
Project Number:  
Project Name: 1400 Independence Rd.,

Date Received: 03-27-24

Date Reported: 04-01-24

**Technique: Polarized Light Microscopy with Dispersion Staining**  
**In accordance with EPA/600/R-93/116 Test Method**

Lab No.	Sample No.	Asbestos Detected & Percentage *	Fibrous Material	Non-Fibrous Material
495614	1a	5-10% Chrysotile	Antigorite	Binders, Vinyl, Aggregate
		5-10% Chrysotile in Mastic		Black Tar Binders
495615	2a	5-10% Chrysotile	Antigorite	Binders, Vinyl, Aggregate
		5-10% Chrysotile in Mastic		Black Tar Binders
495616	3a	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495617	3b	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495618	3c	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495619	4a	None Detected		Binders, Vinyl
	Backing	None Detected	Cellulose, Glass Wool	Binders
		None Detected in Mastic		Binders

\* The upper detection limit is 100 percent.  
The lower detection limit is less than 1 percent.



**PRECISION  
ANALYSIS, INC.**  
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<u>Lab No.</u>	<u>Sample No.</u>	<u>Asbestos Detected &amp; Percentage *</u>	<u>Fibrous Material</u>	<u>Non-Fibrous Material</u>
495620	4b	None Detected		Binders, Vinyl
	Backing	None Detected	Cellulose, Glass Wool	Binders
		None Detected in Mastic		Binders
495621	4c	None Detected		Binders, Vinyl
	Backing	None Detected	Cellulose, Glass Wool	Binders
		None Detected in Mastic		Binders
495622	5a	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495623	5b	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495624	5c	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders

\* The upper detection limit is 100 percent.  
The lower detection limit is less than 1 percent.



# PRECISION ANALYSIS, INC.

## BULK SAMPLE ANALYSIS

Page 3 of 7

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Date Reported: 04-01-24

**Technique: Polarized Light Microscopy with Dispersion Staining**  
**In accordance with EPA/600/R-93/116 Test Method**

Lab No.	Sample No.	Asbestos Detected & Percentage *	Fibrous Material	Non-Fibrous Material
495625	6a	None Detected		Binders, Vinyl
	Backing	None Detected	Cellulose, Glass Wool	Binders
		None Detected in Mastic		Binders
495626	6b	None Detected		Binders, Vinyl
	Backing	None Detected	Cellulose, Glass Wool	Binders
		None Detected in Mastic		Binders
495627	6c	None Detected		Binders, Vinyl
	Backing	None Detected	Cellulose, Glass Wool	Binders
		None Detected in Mastic		Binders
495628	7a Drywall	None Detected	Cellulose	Binders, Polyfoam
495629	7b Drywall	None Detected	Cellulose	Binders, Polyfoam
495630	7c Drywall	None Detected	Cellulose	Binders, Polyfoam
495631	7d Drywall	None Detected	Cellulose	Binders, Polyfoam

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The lower detection limit is less than 1 percent.



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**In accordance with EPA/600/R-93/116 Test Method**

Lab No.	Sample No.	Asbestos Detected & Percentage *	Fibrous Material	Non-Fibrous Material
495632	7e Drywall	None Detected	Cellulose, Glass Wool	Binders, Polyfoam
495633	7f Drywall	None Detected	Cellulose	Binders, Polyfoam
495634	7g Drywall	None Detected	Cellulose, Glass Wool	Binders, Polyfoam
495635	7b Joint Compound	None Detected		Binders, Paint, Mica
495636	7c Joint Compound	None Detected		Binders, Paint, Mica
495637	7d Joint Compound	None Detected		Binders, Paint, Mica
495638	7e Joint Compound	None Detected		Binders, Paint, Mica
495639	7g Joint Compound	None Detected		Binders, Paint, Mica
495640	8a	None Detected	Cellulose, Glass Wool	Binders, Polyfoam, Paint
495641	8b	None Detected	Cellulose, Glass Wool	Binders, Polyfoam, Paint
495642	8c	None Detected	Cellulose, Glass Wool	Binders, Polyfoam, Paint

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Project Number:  
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**In accordance with EPA/600/R-93/116 Test Method**

Lab No.	Sample No.	Asbestos Detected & Percentage *	Fibrous Material	Non-Fibrous Material
495643	9a	None Detected	Cellulose, Glass Wool	Binders, Polyfoam, Paint
495644	9b	None Detected	Cellulose, Glass Wool	Binders, Polyfoam, Paint
495645	9c	None Detected	Cellulose, Glass Wool	Binders, Polyfoam, Paint
495646	10a	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495647	10b	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495648	10c	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495649	11a	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders

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# PRECISION ANALYSIS, INC.

## BULK SAMPLE ANALYSIS

Page 6 of 7

Client: SCI Engineering, Inc.  
Project Number:  
Project Name: 1400 Independence Rd.,

Date Received: 03-27-24

Date Reported: 04-01-24

**Technique: Polarized Light Microscopy with Dispersion Staining**  
**In accordance with EPA/600/R-93/116 Test Method**

<u>Lab No.</u>	<u>Sample No.</u>	<u>Asbestos Detected &amp; Percentage *</u>	<u>Fibrous Material</u>	<u>Non-Fibrous Material</u>
495650	11b	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495651	11c	None Detected		Binders, Vinyl, Aggregate
		None Detected in Mastic		Binders
495652	12a	None Detected		Binders, Vinyl
495653	12b	None Detected		Binders, Vinyl
495654	12c	None Detected		Binders, Vinyl
495655	13a	None Detected		Binders, Vinyl, Paint
495656	13b	None Detected		Binders, Vinyl, Paint
495657	13c	None Detected		Binders, Vinyl, Paint

\* The upper detection limit is 100 percent.  
The lower detection limit is less than 1 percent.



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Project Number:  
Project Name: 1400 Independence Rd.,

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**In accordance with EPA/600/R-93/116 Test Method**

Lab No.	Sample No.	Asbestos Detected & Percentage *	Fibrous Material	Non-Fibrous Material
495658	14a	None Detected		Binders, Vinyl
495659	14b	None Detected		Binders, Vinyl
495660	14c	None Detected		Binders, Vinyl

\* The upper detection limit is 100 percent.  
The lower detection limit is less than 1 percent.

Nikki Hogan  
Laboratory Co-Director

AIHA Bulk Asbestos Proficiency Analytical Testing Program ID # 101228  
In Association with RTI Center for Measurements and Quality Assurance

PLM is not recommended for analysis of vinyl floor tile. Vinyl floor tile often contains milled asbestos with fiber lengths of 1 micrometer or less. Because these fibers are not detected by PLM, PLM analysis may yield a false negative result. We recommend qualitative analysis of vinyl floor tile by Transmission Electron Microscopy (TEM).

Precision Analysis assumes no responsibility for financial or health consequences for action or lack of action taken by our clients or their agents as a result of these analytical reports. Since Precision Analysis was not involved in the collection of these samples, we cannot attest to the proper collection of said samples and therefore are neither responsible nor liable for the accuracy, validity or completeness of the sample collection.





# BULK ASBESTOS CHAIN OF CUSTODY

130 Point West Boulevard  
St. Charles, Missouri 63301  
636-949-8200 Fax 636-949-8269  
www.sciengineering.com

Company: SCI Engineering, Inc.		Please Provide Results Via: <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Email <input type="checkbox"/> Mail			
Street: 130 Point West Boulevard		To: Brian Lieb			
City/State/Zip: St. Charles, Missouri 63301		Telephone #: Fax #: 636-949-8269			
Project Name: 1400 Independence Rd		Email: blieb@sciengineering.com			
Project Number:					
Turnaround Time (TAT) Options - Please Check One					
<input type="checkbox"/> 3 Hour	<input type="checkbox"/> 6 Hour	<input type="checkbox"/> 24 Hour	<input type="checkbox"/> 48 Hour <input type="checkbox"/> 72 Hour <input type="checkbox"/> 96 Hour <input checked="" type="checkbox"/> Other 5 Day		
PLM Bulk Analysis		TEM Bulk Analysis			
<input checked="" type="checkbox"/> PLM-EPA 600 <input type="checkbox"/> PLM-EPA 600 NOB <input type="checkbox"/> PLM-Point Count		<input type="checkbox"/> TEM EPA NOB - EPA 600/R-93/116 Section 2.5.5.1 <input type="checkbox"/> Chatfield Protocol (semi-quantitative)			
<input checked="" type="checkbox"/> Check Box for Stop Positive					
Comments: Please analyze by layers					
Samplers Name: Ethan Boyer		Samplers Signature:	Date Sampled: 3/25/24		
Building Use/Description/Features: Office Building		Age: 1970's	Size: 105,000 SF		
Windows: Window	Siding: Brick/CMU	Roof: Membrane	Attic: N/A HVAC: Forced Air		
Sample #	Material Location	Material Description	Approx. Quantity	Condition	Comments
1400-1ABC	Throughout except rooms 118,202, repository, IT server, and mine safety	12x12 Tan Mottled FT	85,000 SF	Good	Often under carpet or #5/ W black mastic
1400-2ABC	Rooms 11202	12x12 White + Grey Feathered FT	2,800 SF	Good	W black mastic
1400-3ABC	Room 220	12x12 Black FT	700 SF	Good	
1400-4ABC	Room 221	12x12 Grey+Pink Speckled FT	560 SF	Good	
1400-5ABC	Throughout Hallways + Entryways to rooms	12x12 Beige+Tan Mottled FT	40,000 SF	Good	On 1ABC
1400-6ABC	Room 460	12x12 Tan Mottled Ft	1,150 SF	Good	
1400-7ABCDEFGF	Throughout	Dry Wall System		Good	
1400-8ABC	Throughout	2x4 Pinhole Wormtrack CT		Good	Patterned with 9ABC
1400-9ABC	Throughout	2x4 Pinhole CT		Good	Patterned with 8ABC
Relinquished:		Date: <b>RECEIVED</b>	Time: 1447		
Received:		Date: MAR 27 REC'D	Time:		



**Project Name/Number** 2024-0361.20

[illegible]

BY: Nicole Hagan

CERTIFICATION NUMBER:

**7011071423MOIR22389**

THIS CERTIFIES

**Ethan D Boyer**

HAS COMPLETED THE CERTIFICATION

REQUIREMENTS FOR

**Inspector**



APPROVED: **08/18/2023**

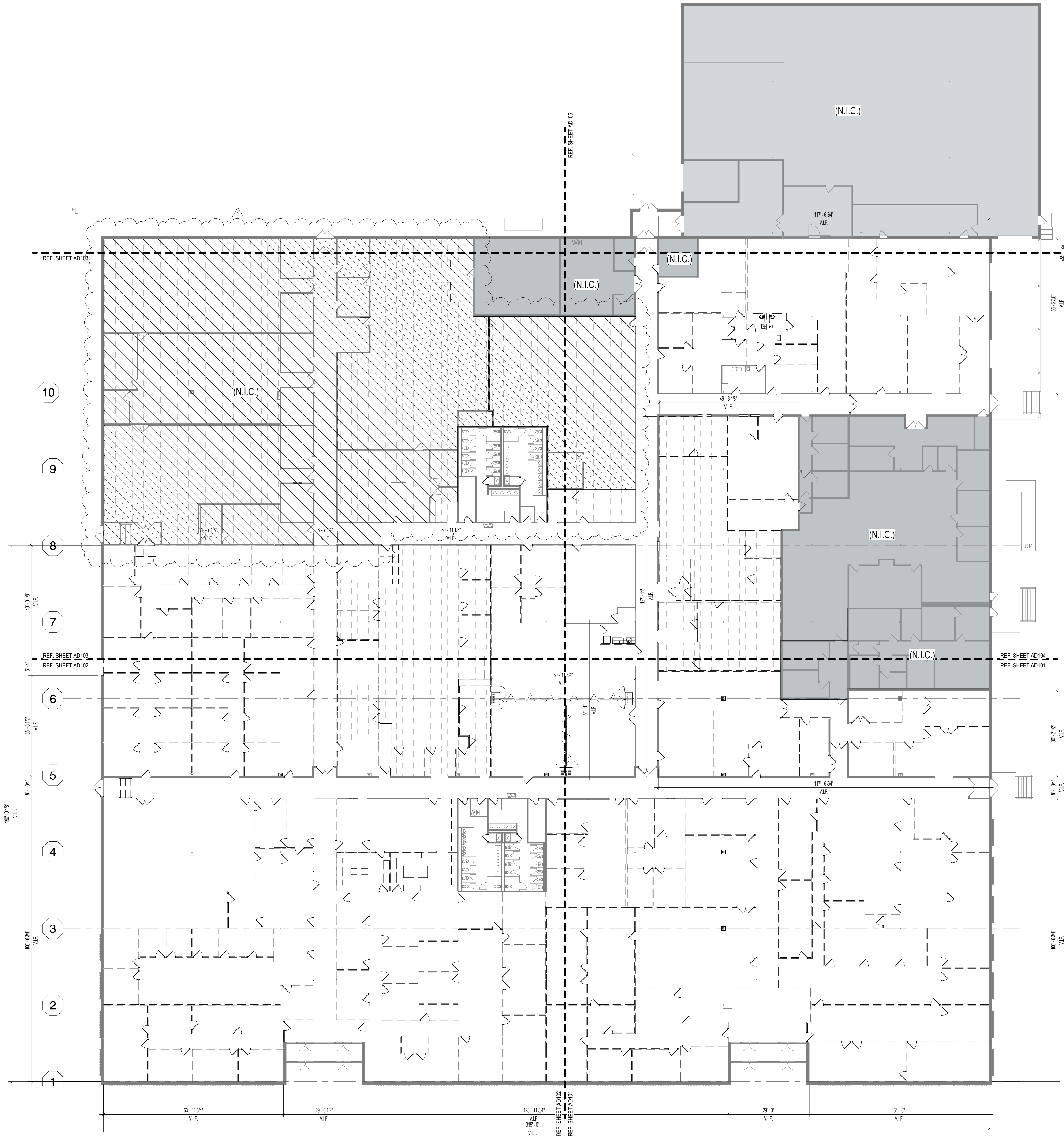
TRAINING DATE: **07/14/2023**

EXPIRES: **07/14/2024**

A handwritten signature in black ink, appearing to read "Stephen M. Hall". The signature is fluid and cursive, written over a light background.

Director of Air Pollution Control Program





GENERAL NOTES - DEMOLITION PLAN

- DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO, ITEMS IDENTIFIED BY KEYED NOTES. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO INSTALL NEW CONSTRUCTION FINISHES.
- THOROUGHLY CLEAN ALL INTERIOR SURFACES, IN ALL PROJECT AREAS, AFTER EACH CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, ALL PARTITIONS INDICATED FOR REMOVAL SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE.
- DO NOT CUT OR SHUT OFF ANY UTILITIES WITHOUT PRIOR NOTIFICATION OF OWNER'S REP.
- ANY CONSTRUCTION NOTED AS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. ANY DAMAGE TO THIS CONSTRUCTION SHALL BE REPLACED TO LIKE NEW CONDITION, AT NO COST TO THE OWNER.
- ANY EXISTING ITEMS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION OF EXISTING WORK OR CONSTRUCTION OF NEW WORK SHALL BE REPAIRED AND/OR REPLACED TO MATCH EXISTING AT NO COST TO OWNER.
- MATERIALS NOTED AS 'SAVE' SHALL BE TURNED OVER TO FACILITIES DIRECTOR OR OWNER FOR RELOCATION.
- PRIOR TO DEMOLITION OF ANY MATERIALS NOTED TO BE REMOVED, GENERAL CONTRACTOR TO MEET WITH OWNER'S REPRESENTATIVE & ENGINEERING DEPARTMENT TO COORDINATE ANY MATERIALS TO BE SAVED FOR POSSIBLE REUSE.
- OWNER TO HAVE FIRST SALVAGE RIGHT ON ALL ITEMS WHETHER NOTED ON THE PLANS OR NOT. GENERAL CONTRACTOR TO DISPOSE OF ALL ITEMS NOT RE-USED IN THE PROPOSED WORK.
- GENERAL CONTRACTOR SHALL REMOVE ALL FURNITURE, FIXTURES, & EQUIPMENT NOT PART OF THE NEW DESIGN. ALL FIXTURES & EQUIPMENT DESIGNATED TO BE REUSED IN RENOVATED SPACES ARE TO BE STORED BY THE GENERAL CONTRACTOR. ANY FIXTURES & EQUIPMENT DAMAGED DURING STORAGE OR DEMOLITION MUST BE REPAIRED OR REPLACED BY THE GENERAL CONTRACTOR.
- DO NOT DISTURB EXISTING STRUCTURAL MEMBERS WITHOUT PRIOR NOTIFICATION OF THE ARCHITECT, UNLESS OTHERWISE NOTED.
- ALL DEMOLITION WORK SHALL BE COORDINATED WITH FACILITIES DIRECTOR OR OWNER FOR ACCESS TO SPACE & FOR TIMES AVAILABLE FOR DEMOLITION.
- PATCH ALL AREAS AFFECTED BY DEMOLITION WORK & PREPARE TO RECEIVE NEW FINISHES.
- ANY CONDITIONS FOUND TO BE BEYOND THE SCOPE OF THIS DEMOLITION CONTRACT SHALL BE BROUGHT TO THE ATTENTION OF THE FACILITIES DIRECTOR OR OWNER PRIOR TO ANY FURTHER DEMOLITION WORK.
- PRIOR TO STARTING ANY DEMOLITION WORK, CONTRACTOR TO REVIEW ALL CONSTRUCTION DOCUMENTS FOR COORDINATION OF DEMOLITION & CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE DUST & DEBRIS PROTECTION WITH VISQUEEN COVERED STUD FRAMED PARTITIONS DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR TO PROVIDE NECESSARY PEDESTRIAN CONTROLS BY USE OF SOFT BARRIER AND/OR CAUTION TAPE DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING FIRE EXTINGUISHERS ARE TO REMAIN. RELOCATE TO NEAREST POSSIBLE LOCATION AS CONSTRUCTION ALLOWS.
- RELOCATE EXISTING FIRE SPRINKLERS IN AFFECTED AREAS PER NFPA 13 AS NEEDED.
- THE CONTRACTOR IS RESPONSIBLE IN HIS BID, FOR THE PATCHING OF ALL ADJACENT MATERIALS & FINISHES INCLUDING: PAINTING, CONCRETE FLOORS, WALLS, ETC. WHETHER STATED IN THE CONSTRUCTION DOCUMENTS OR NOT. PATCHING SHALL MATCH EXISTING SURFACES & IS TO BE INDISTINGUISHABLE FROM EXISTING SURFACES.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WOOD BLOCKING, STEEL REINFORCEMENT OR BRACING OF ANY KIND PRIOR TO CLOSURE OF ANY STUD WALLS.
- SPACES IMMEDIATELY ADJACENT TO THE CONSTRUCTION AREA THAT ARE OCCUPIED BY THE OWNER DURING THE DEMOLITION AND NEW CONSTRUCTION WORK, SHALL BE PROVIDED WITH PROTECTION FOR OWNER'S PERSONNEL AND ALL OTHER USERS OF THE SURROUNDING AREAS. CONTRACTOR SHALL PROVIDE PROTECTIONS FROM THE SPREAD OF DUST AND DIRT DURING THE ENTIRE DEMOLITION AND NEW CONSTRUCTION PERIOD.
- ALL MATERIAL DEMOLISHED OR REMOVED AS SHOWN ON DEMOLITION DRAWINGS SHALL BE REMOVED, IN ITS ENTIRETY, FROM THE SITE UNLESS NOTED OTHERWISE.
- WHENEVER AND WHEREVER DEMOLITION OCCURS, THE REMAINING FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED AS REQUIRED TO MATCH THE ADJACENT CONTIGUOUS SURFACE.
- COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION SHOWN ELSEWHERE IN THE DRAWINGS. DUE CARE IS TO BE TAKEN TO AVOID UNDUE DAMAGE TO ADJACENT AREAS.
- IF UNANTICIPATED HVAC, PLUMBING, ELECTRICAL, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED, WHICH CONFLICT WITH INTENDED FUNCTIONS OF DESIGN, NOTIFY ARCHITECT IMMEDIATELY.
- PROMPTLY REPAIR DAMAGE CAUSED BY DEMOLITION WORK, TO ADJACENT AREAS SCHEDULED TO REMAIN.
- WHERE EXISTING FLOORING IS INDICATED TO BE REMOVED, REMOVE FLOORING DOWN TO EXISTING CONCRETE DECK AND PREPARE CONCRETE DECK FOR NEW SPECIFIED FLOORING. COMMENCEMENT OF NEW WORK BY FLOORING CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATE BY FLOORING CONTRACTOR.
- ALL EXISTING, UNUSED ELECTRICAL AND DVI TO BE REMOVED FROM JUNCTION BOX WITH A BLACK COVER PLATE (TO MATCH WALL COLOR) INSTALLED IF AT STANDARD HEIGHT (18" A.F.F.) OR BELOW.
- DEMO PARTITIONS AS SHOWN, PATCH / REPAIR ADJACENT PARTITIONS AS NEEDED TO ACCEPT NEW FINISHES.
- PATCH / REPAIR ALL WALLS THROUGHOUT TO LEVEL 4 FINISH TO ACCEPT NEW FINISHES.
- VCT FLOORING IS PRESENT UNDER ALL EXISTING CARPET TILE AND RAISED FLOORING. REMOVE ALL FLOORING DOWN TO CONCRETE SLAB.
- ALL CEILING SYSTEMS IN THE SCOPE AREA TO BE REMOVED ENTIRELY.
- COORDINATE ALL DEMOLITION WORK WITH OWNER'S APARTMENT REPORT AND APARTMENT WORK.
- HATCHED AREAS ARE NOT IN SCOPE. ALL CONSTRUCTION, EQUIPMENT, ETC. IN THESE AREAS ARE EXISTING TO REMAIN.
- GRAY SHADED AREAS ARE NOT IN SCOPE. ALL CONSTRUCTION, EQUIPMENT, ETC. IN THESE AREAS ARE EXISTING TO REMAIN. THESE AREAS ARE TO REMAIN OPERATIONAL FOR THE DURATION OF DEMOLITION.

DEMOLITION KEYED NOTES

[001] Numbered Note Beginning with "D".

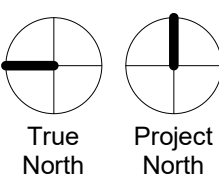
CONSTRUCTION PHASES

- EXISTING CONSTRUCTION TO REMAIN
  - EXISTING WALL TO REMAIN
  - EXISTING DOOR TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
  - EXISTING WALL TO BE REMOVED
  - EXISTING DOOR TO BE REMOVED

AREA NOT IN SCOPE  
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

GRAPHIC LEGEND - DEMOLITION PLANS  
1/8" = 1'-0"



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Professional Seal

Architect COA: CORPORATE COA



Project Status / Milestone

**ECC - Rolla Campus**

Rolla, MO 65401

1400 Independence Rd.

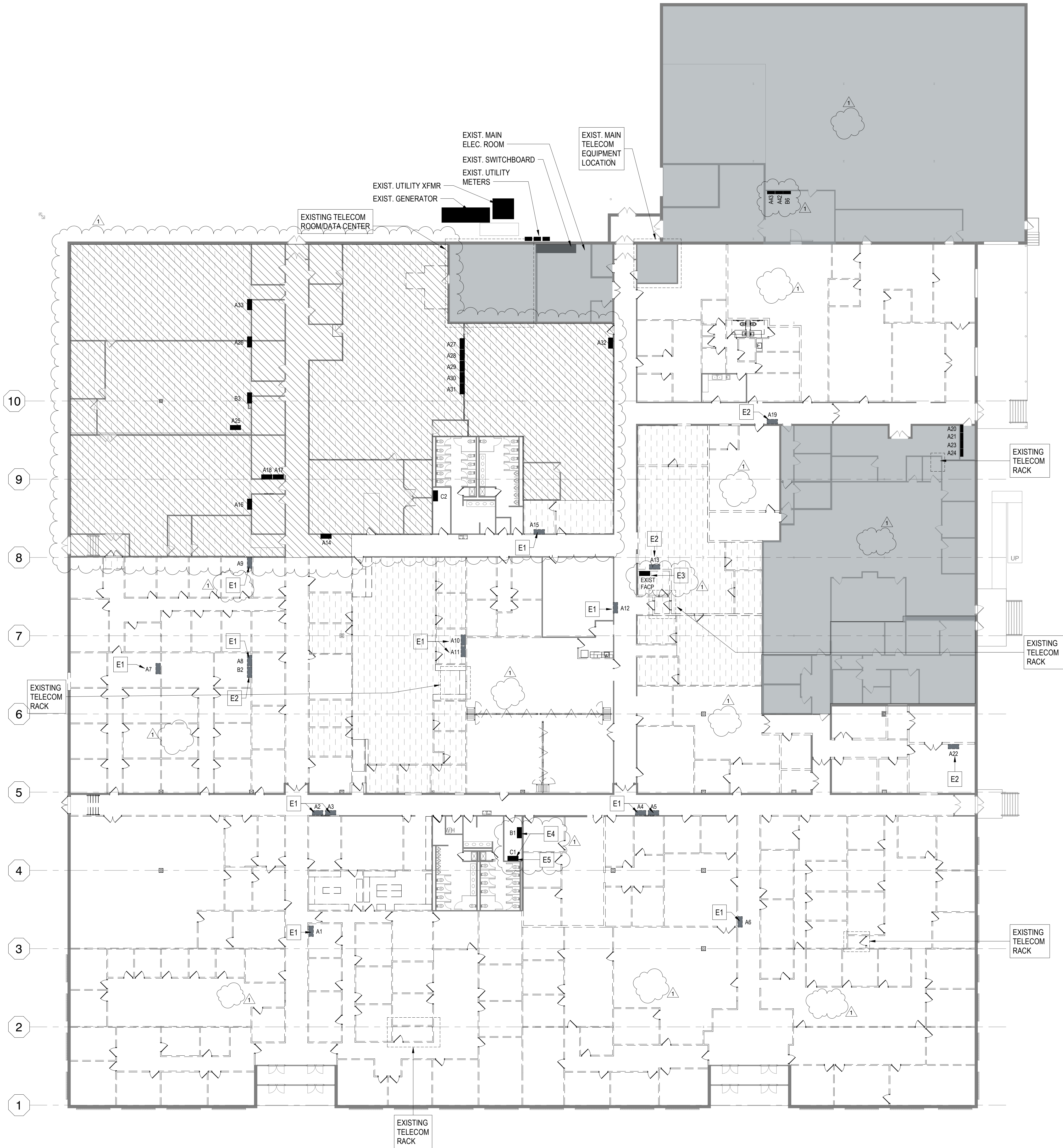
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No.	Description	Date
1	Addendum 01	4.22.25

Sheet Title:

**DEMOLITION PLAN - OVERALL**

Project Number: 2024110  
Owner By: \_\_\_\_\_  
Author: \_\_\_\_\_  
Issue Date: 4.7.2025  
Sheet Number: **AD100**





#### ELECTRICAL SCOPE OF WORK

THE ELECTRICAL CONTRACTOR IS REQUIRED TO PROVIDE PRICING AND EXECUTE ALL NECESSARY LINE VOLTAGE POWER, LIGHTING, AND FIRE ALARM WORK ASSOCIATED WITH THE DEMOLITION PHASE. ALL GREY SHADED AND DIAGONALLY HATCHED AREAS ARE OUT OF THE SCOPE AREA OF THIS PHASE OF DEMOLITION. GREY SHADED AREAS WILL REMAIN OPERATIONAL AND ALL OUTAGES SHALL BE COORDINATED WITH THE OWNER. AREAS OF DEMOLITION SHALL BE MADE ELECTRICALLY SAFE FOR DEMOLITION. ALL ELECTRICAL DEVICES, FIRE ALARM DEVICES, LIGHTING FIXTURES, AND ELECTRICAL EQUIPMENT IN AREAS OF DEMOLITION ARE TO BE REMOVED COMPLETE BACK TO SOURCE.

THE CONTRACTOR SHALL VERIFY PANELS WITHIN DEMOLITION SCOPE DO NOT SUPPLY ANY LOADS IN THE GREY SHADED OR DIAGONALLY HATCHED AREAS. WHERE NOTED PER KEYNOTE E2. CONTRACTOR SHALL DETERMINE IF CIRCUIT TRACING IS REQUIRED IN EXCESS OF WHERE REQUIRED BY KEY NOTE E2 AND NOTIFY OWNER, ARCHITECT, AND ENGINEER. WHERE A PANEL IS DETERMINED TO SUPPLY A LOAD NOT WITHIN THE AREA OF DEMOLITION, THE CONTRACTOR SHALL CONTACT THE OWNER, ARCHITECT, AND ENGINEER TO COORDINATE DISCONNECTION AND RECONNECTION TO AN ACCEPTABLE PANEL OUTSIDE THE AREA OF DEMOLITION TO MAINTAIN POWER.

FIRE ALARM IN GREY SHADED AND DIAGONALLY HATCHED AREAS SHALL BE MAINTAINED AND PROTECTED IN PLACE FOR CONTINUITY AND OPERATION THROUGH THE DEMOLITION AND RENOVATION WORK. IF THE FIRE ALARM SYSTEM NEEDS TO BE TAKEN OUT OF SERVICE WHILE THE BUILDING IS OCCUPIED, CONTACT OWNER A MINIMUM OF TWO WEEKS IN ADVANCE, AND AHJ PERMISSION FOR TEMPORARY DISCONNECTION OR A FIRE WATCH WILL BE REQUIRED.

#### ELECTRICAL KEY NOTES

- E1 EXISTING PANEL TO BE REMOVED. ALL EXISTING WIRING, CONDUIT, AND DISCONNECT TO BE DEMOLISHED AND SHALL BE REMOVED TO ITS POINT OF ORIGIN
- E2 EXISTING PANEL TO BE REMOVED. ALL EXISTING WIRING, CONDUIT AND DISCONNECT TO BE DEMOLISHED AND SHALL BE REMOVED TO ITS POINT OF ORIGIN. PRIOR TO DEMOLITION OF ELECTRICAL PANEL, EC SHALL DETERMINE IF CIRCUITRY IS SUPPLYING LOAD TO SHADED AREAS.
- E3 EXISTING FIRE ALARM CONTROL PANEL, MANUFACTURER SILENT KNIGHT. RELOCATE TO WEST WALL AND MAINTAIN OPERATION FOR GRAY SHADED AND DIAGONALLY HATCHED AREAS.
- E4 EXISTING PANEL FEEDS ROOFTOP UNITS RTU-1 AND RTU-2 WHICH ARE TO REMAIN OPERATIONAL
- E5 EXISTING PANEL FEEDS EXTERIOR LIGHTING. EXTERIOR LIGHTING CIRCUITS AND CONTROLS TO REMAIN OPERATIONAL.

#### TECHNOLOGY SCOPE OF WORK

THE CONTRACTOR IS REQUIRED TO PROVIDE PRICING AND EXECUTE ALL NECESSARY LOW VOLTAGE WORK ASSOCIATED WITH THE DEMOLITION PHASE.

GRAY SHADED AND DIAGONALLY HATCHED AREAS ARE OUTSIDE THE SCOPE OF THIS PHASE OF DEMOLITION. CABLING SUPPORTING THESE AREAS ARE TO BE PROTECTED IN PLACE AND REMAIN OPERATIONAL.

TEMPORARY NETWORK CABLING WILL BE REQUIRED IF EXISTING CABLING TO AREAS OUT OF SCOPE CANNOT BE IDENTIFIED TO PROTECT IN PLACE.

THE CONTRACTOR SHALL ENSURE PROPER DISCONNECTION AND RECONNECTION OF ALL NETWORK DEVICES TO MAINTAIN EXISTING NETWORK INTEGRITY WHILE ALSO PREVENTING ANY DISRUPTION TO THE GRAY SHADED AREAS.

- 1 REMOVE ALL INFORMATION OUTLET, NETWORK AND DATA CABLING TO SOURCE.
- 2 REMOVE ALL WIRELESS ACCESS POINTS AND RETURN TO OWNER. REMOVE ALL ASSOCIATED CABLING TO ITS SOURCE.
- 3 REMOVE ALL ACCESS CONTROL READERS AND SURVEILLANCE CAMERAS AND RETURN TO OWNER. REMOVE ALL ASSOCIATED CABLING TO ITS SOURCE.
- 4 REMOVE ALL INTERCOM, AUDIO, VIDEO AND TELEPHONE DEVICES AND RETURN TO OWNER. REMOVE ALL ASSOCIATED CABLING TO ITS SOURCE.



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COA

Professional Seal:

Architect COA: CORPORATE COA



Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

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No. 1 Addendum 01 Description 4.22.25

Sheet Title:

DEMOLITION -  
OVERALL ELECT. &  
TECHNOLOGY

Project Number:

2024110

Drawn By:

Author

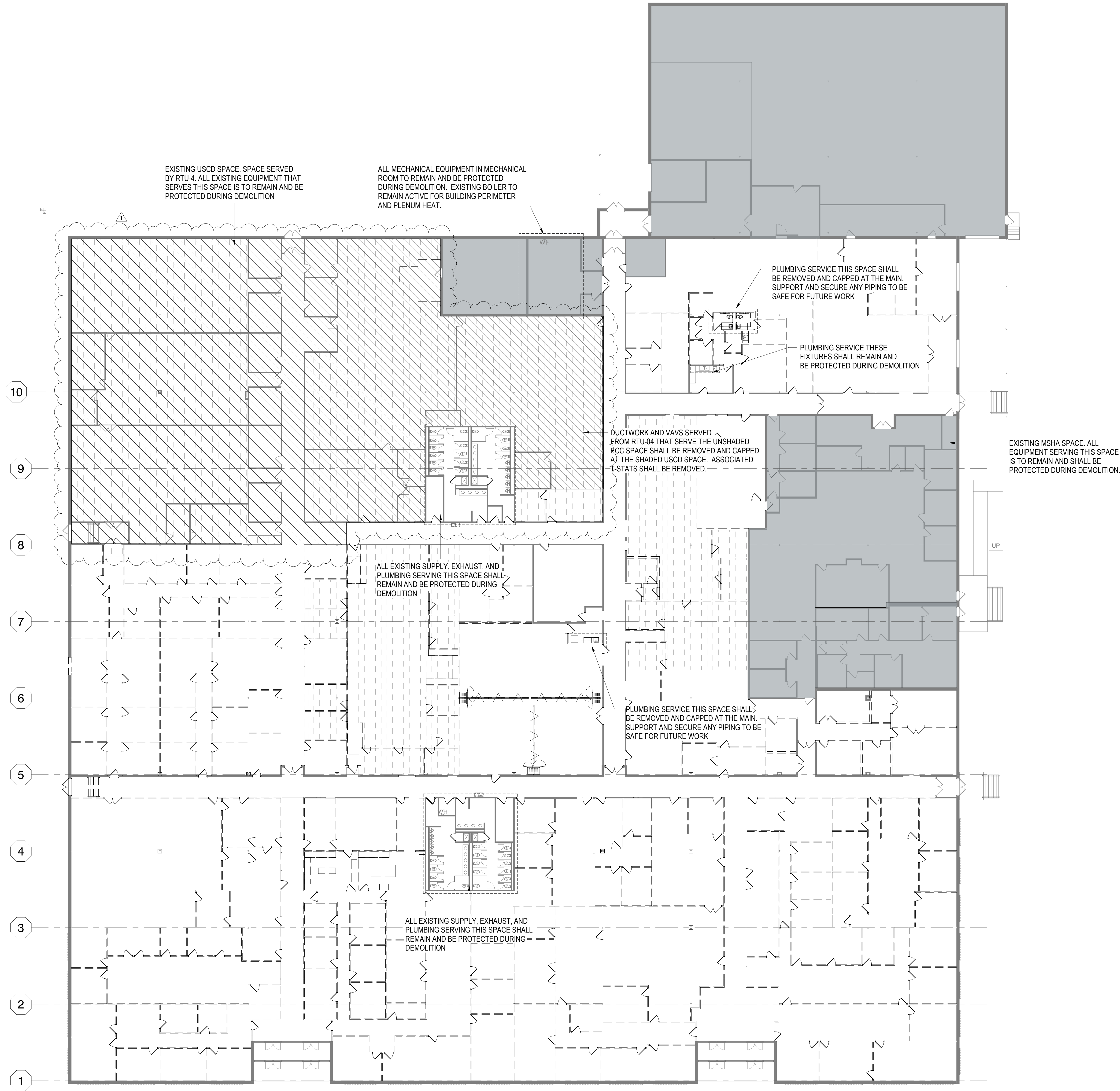
Issue Date:

4.7.2025

Sheet Number:

AD100E





MECHANICAL, FIRE PROTECTION, AND PLUMBING SCOPE OF WORK

THE MECHANICAL, PLUMBING, AND FIRE PROTECTION CONTRACTORS ARE REQUIRED TO PROVIDE PRICING AND EXECUTE ALL NECESSARY WORK ASSOCIATED WITH THE DEMOLITION PHASE. ALL GREY SHADED AREAS WILL REMAIN OPERATIONAL DURING NORMAL BUSINESS HOURS.

THE CONTRACTOR SHALL ENSURE PROPER DISCONNECTION AND RECONNECTION OF ALL EQUIPMENT TO MAINTAIN EXISTING SYSTEMS AND SYSTEM INTEGRITY WHILE ALSO PREVENTING ANY DISRUPTION TO THE AREAS TO REMAIN OPERATIONAL.

MECHANICAL GENERAL NOTES

1. PRIOR TO DEMOLITION OF WALLS, CAREFULLY REMOVE ROOM TEMPERATURE SENSORS. REWIRE AND SUPPORT THERMOSTATS FROM STRUCTURE OR ASSOCIATED VAV. EXISTING CONTROL SEQUENCING TO REMAIN. ALL CEILING DEVICES, DIFFUSERS, AND FLEX DUCT SHALL BE REMOVED WITHIN THE UNSHADED SPACE. ANY LOOSE DUCTWORK SHALL BE SECURED AND MADE SAFE FOR FUTURE WORK. ANY EXISTING ABANDONED EQUIPMENT SHALL BE REMOVED.
2. ALL PERIMETER BUILDING RADIATORS ARE TO REMAIN AND SHALL BE PROTECTED DURING DEMOLITION
3. EXISTING (6) HYDRONIC PLENUM HEATERS TO REMAIN AND BE PROTECTED DURING DEMOLITION
4. ALL EXISTING FIRE PROTECTION PIPING IS TO REMAIN AND BE PROTECTED DURING DEMOLITION. SPRINKLER HEADS SERVING THE UNSHADED SPACE SHALL BE TURNED UPRIGHT.
5. SHADED AREA, GRAY, OUT OF SCOPE. ALL EQUIPMENT IN THESE AREAS EXISTING TO REMAIN AND ACTIVE.
6. DIAGONALLY HATCHED AREAS OUT OF SCOPE.



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Architect COA: CORPORATE COA



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No.	Description	Date
1	Addendum 01	4.22.25

Sheet Title:

DEMOLITION -  
OVERALL MECH &  
PLUMBING

Project Number:

2024110

Drawn By:

Author

Issue Date:

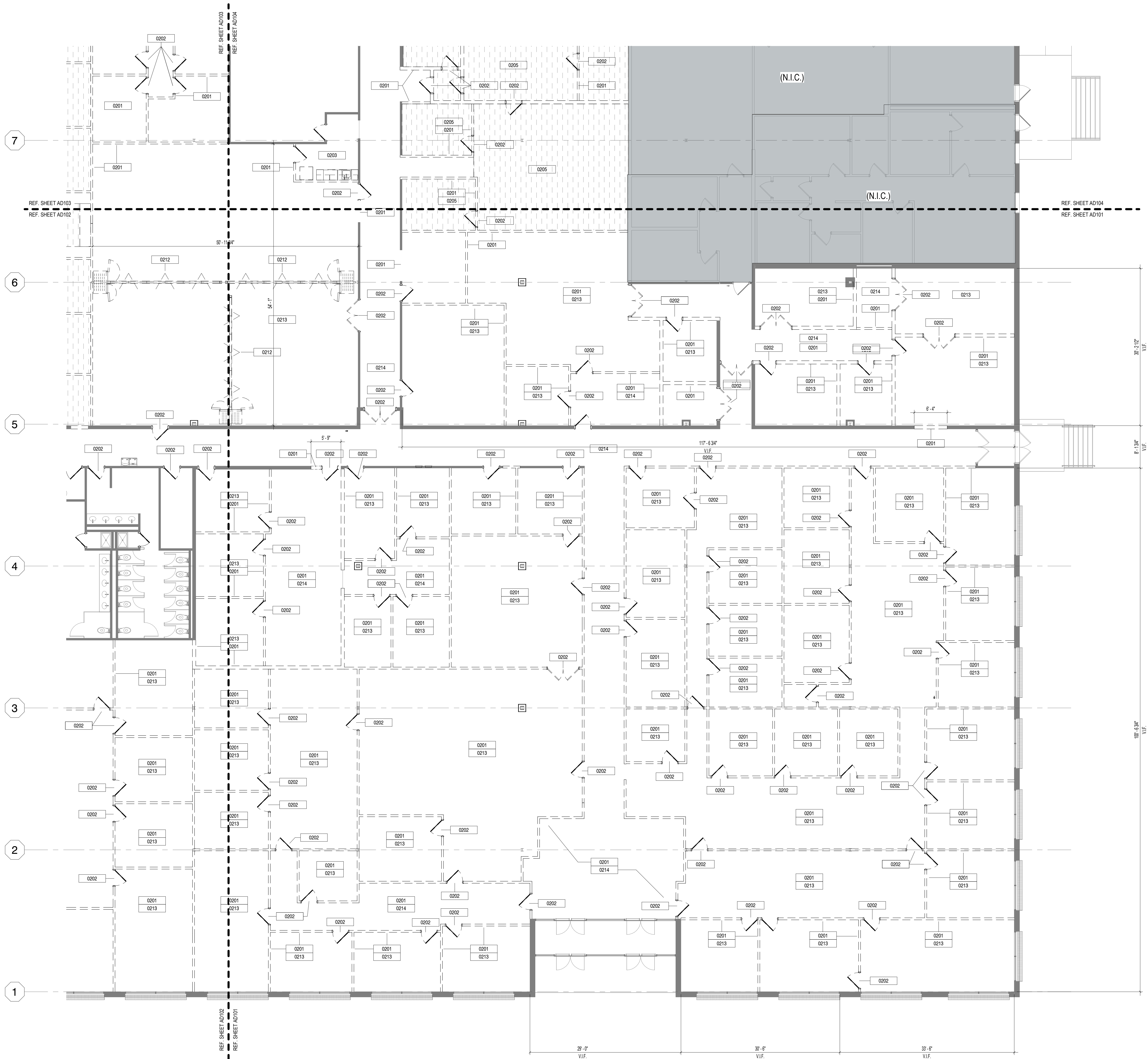
4.7.2025

Sheet Number:

AD100M



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1 DEMOLITION PLAN - AREA A'  
AD101 1/8" = 1'-0"

#### DEMOLITION PLAN KEYED NOTES

0201	REMOVE EXISTING WALLS, CEILINGS AND RELATED ITEMS IN ITS ENTIRETY
0202	REMOVE EXISTING DOOR, FRAME AND HARDWARE
0203	REMOVE EXISTING CASEWORK AND ALL RELATED ITEMS
0205	REMOVE EXISTING RAISED ACCESS FLOORING
0212	REMOVE EXISTING OPERABLE PARTITIONS
0213	REMOVE EXISTING CARPET IN ITS ENTIRETY
0214	REMOVE EXISTING VCT TILE IN ITS ENTIRETY

#### DEMOLITION KEYED NOTES

001 Numbered Note Beginning with "0".

#### CONSTRUCTION PHASES

EXISTING CONSTRUCTION TO REMAIN  
EXISTING HALL TO REMAIN  
EXISTING DOOR TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED  
EXISTING HALL TO BE REMOVED  
EXISTING DOOR TO BE REMOVED

AREA NOT IN SCOPE  
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

#### GRAPHIC LEGEND - DEMOLITION PLANS

1/8" = 1'-0"



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Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

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No.	Description	Date
1	Addendum 01	4.22.25

Sheet Title:

DEMOLITION PLAN - AREA A'

Project Number:

2024110

Drawn By:

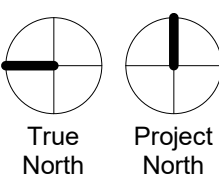
Author

Issue Date:

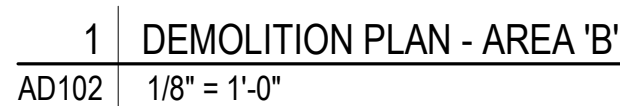
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Sheet Number:


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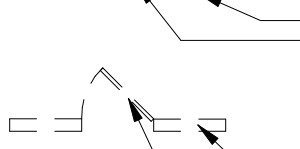


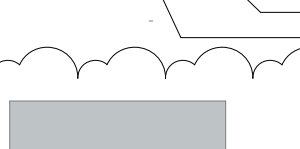



### DEMOLITION KEYED NOTES


 Numbered Note Beginning with "D".

### CONSTRUCTION PHASES

  
EXISTING CONSTRUCTION TO REMAIN  
EXISTING WALL TO REMAIN  
EXISTING DOOR TO REMAIN

  
EXISTING CONSTRUCTION TO BE REMOVED  
EXISTING WALL TO BE REMOVED  
EXISTING DOOR TO BE REMOVED

  
AREA NOT IN SCOPE  
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

  
AREA NOT IN SCOPE

### GRAPHIC LEGEND - DEMOLITION PLANS

1/8" = 1'-0"



DEMOLITION PLAN -  
AREA 'B'

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Project Number: 2024110  
Drawn By: \_\_\_\_\_  
Author: \_\_\_\_\_  
Issue Date: 4.7.2025

Sheet Number: **AD102**



**DEMOLITION KEYED NOTES**

**D01** ————— Numbered Note Beginning with "D".

**CONSTRUCTION PHASES**

EXISTING CONSTRUCTION TO REMAIN

EXISTING WALL TO REMAIN  
EXISTING DOOR TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

EXISTING WALL TO BE REMOVED  
EXISTING DOOR TO BE REMOVED

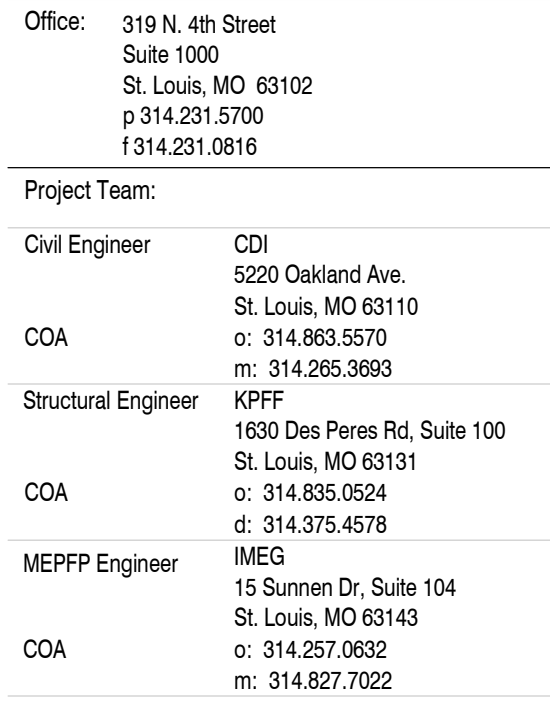
AREA NOT IN SCOPE

AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

**GRAPHIC LEGEND — DEMOLITION PLANS**

1/8" = 1'-0"



Architect COA: **CORPORATE COA**



Project Status / Milestone

# ECC - Rolla Campus

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DEMOLITION PLAN -  
AREA 'C'

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Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

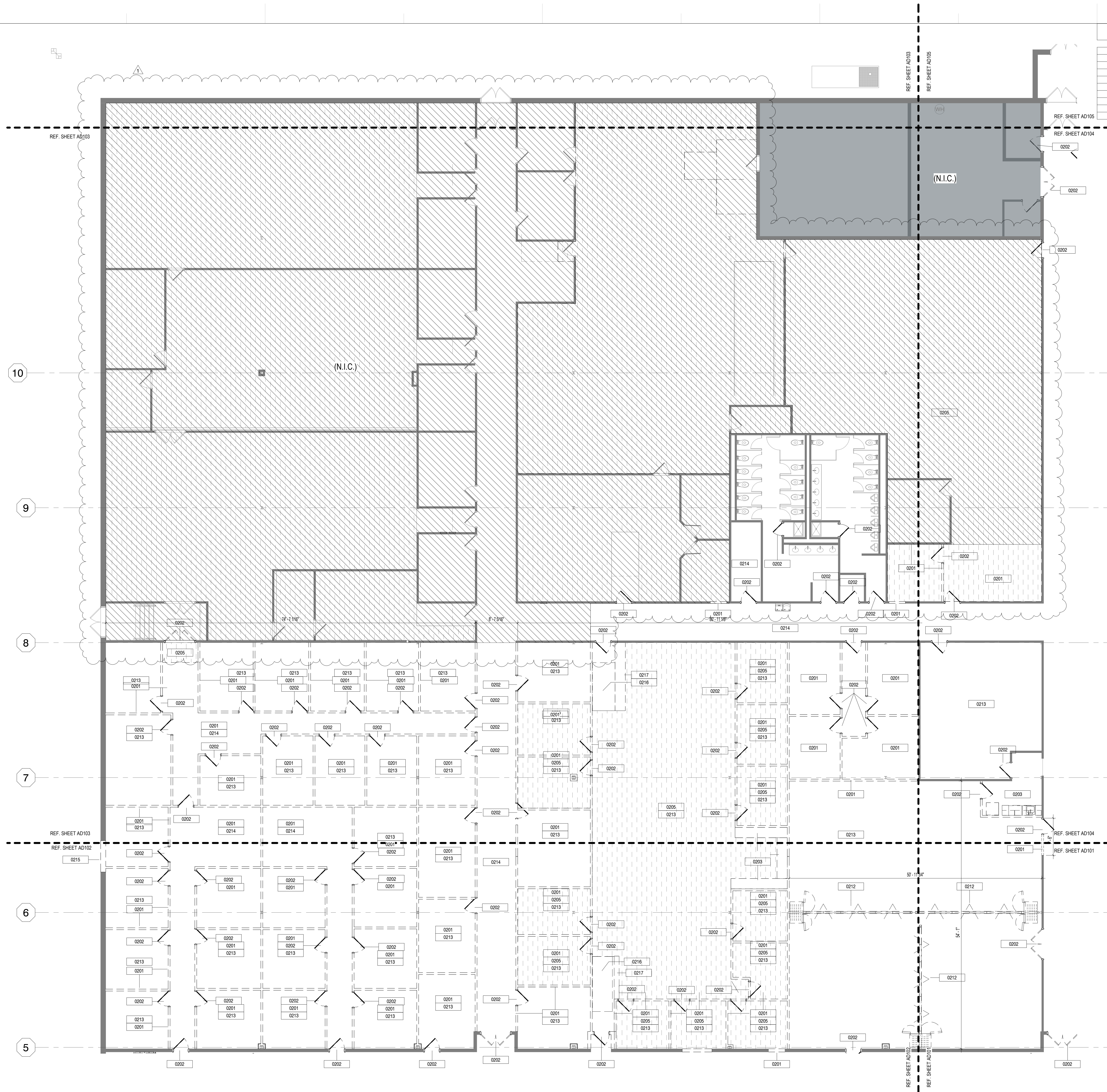
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Drawn By: \_\_\_\_\_

Author: \_\_\_\_\_

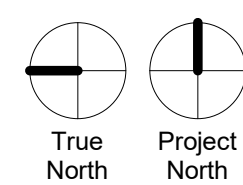
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4.7.2025

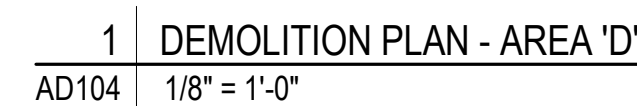
**AD103**



1	DEMOLITION PLAN - AREA 'C'
AD103	1/8" = 1'-0"







**CONSTRUCTION PHASES**

EXISTING CONSTRUCTION TO REMAIN

EXISTING WALL TO REMAIN  
EXISTING DOOR TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

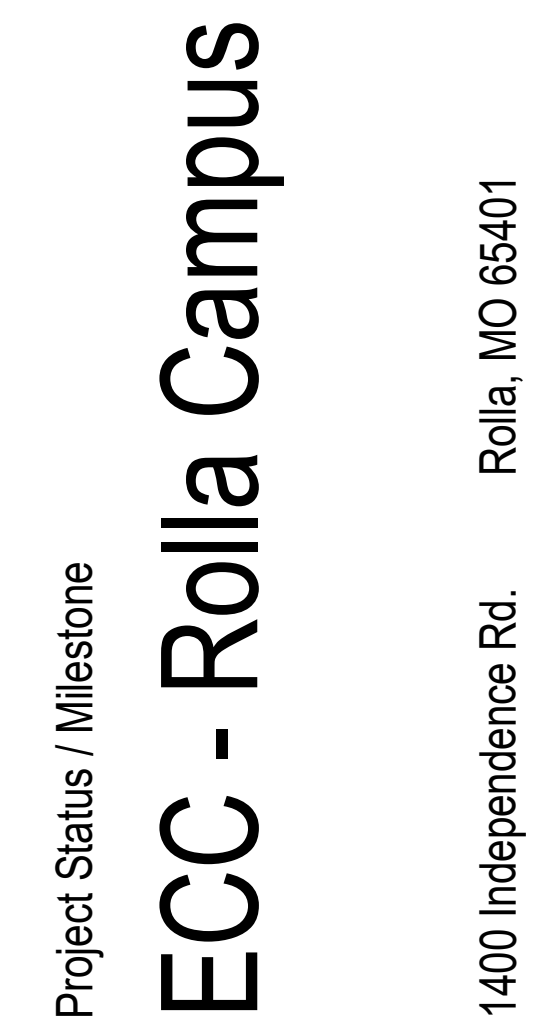
EXISTING WALL TO BE REMOVED  
EXISTING DOOR TO BE REMOVED

AREA NOT IN SCOPE  
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

**GRAPHIC LEGEND - DEMOLITION PLANS**

1/8" = 1'-0"



DEMOLITION PLAN -  
AREA 'D'

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Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

2024110  
Drawn By: \_\_\_\_\_


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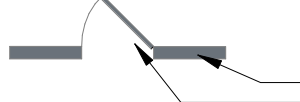
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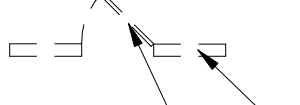
**AD104**


### DEMOLITION KEYED NOTES


 Numbered Note Beginning with "D".

### CONSTRUCTION PHASES

  
EXISTING CONSTRUCTION TO REMAIN  
EXISTING WALL TO REMAIN  
EXISTING DOOR TO REMAIN

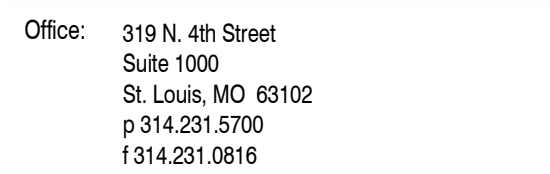
  
EXISTING CONSTRUCTION TO BE REMOVED  
EXISTING WALL TO BE REMOVED  
EXISTING DOOR TO BE REMOVED

  
AREA NOT IN SCOPE  
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

  
AREA NOT IN SCOPE

### LEGEND - DEMOLITION PLANS

1/8" = 1'-0"



Professional Seal: \_\_\_\_\_

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Sheet Title:

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_  
 2024110 \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Author \_\_\_\_\_  
 Issue Date: \_\_\_\_\_  
 4.7.2025 \_\_\_\_\_

**AD105**

